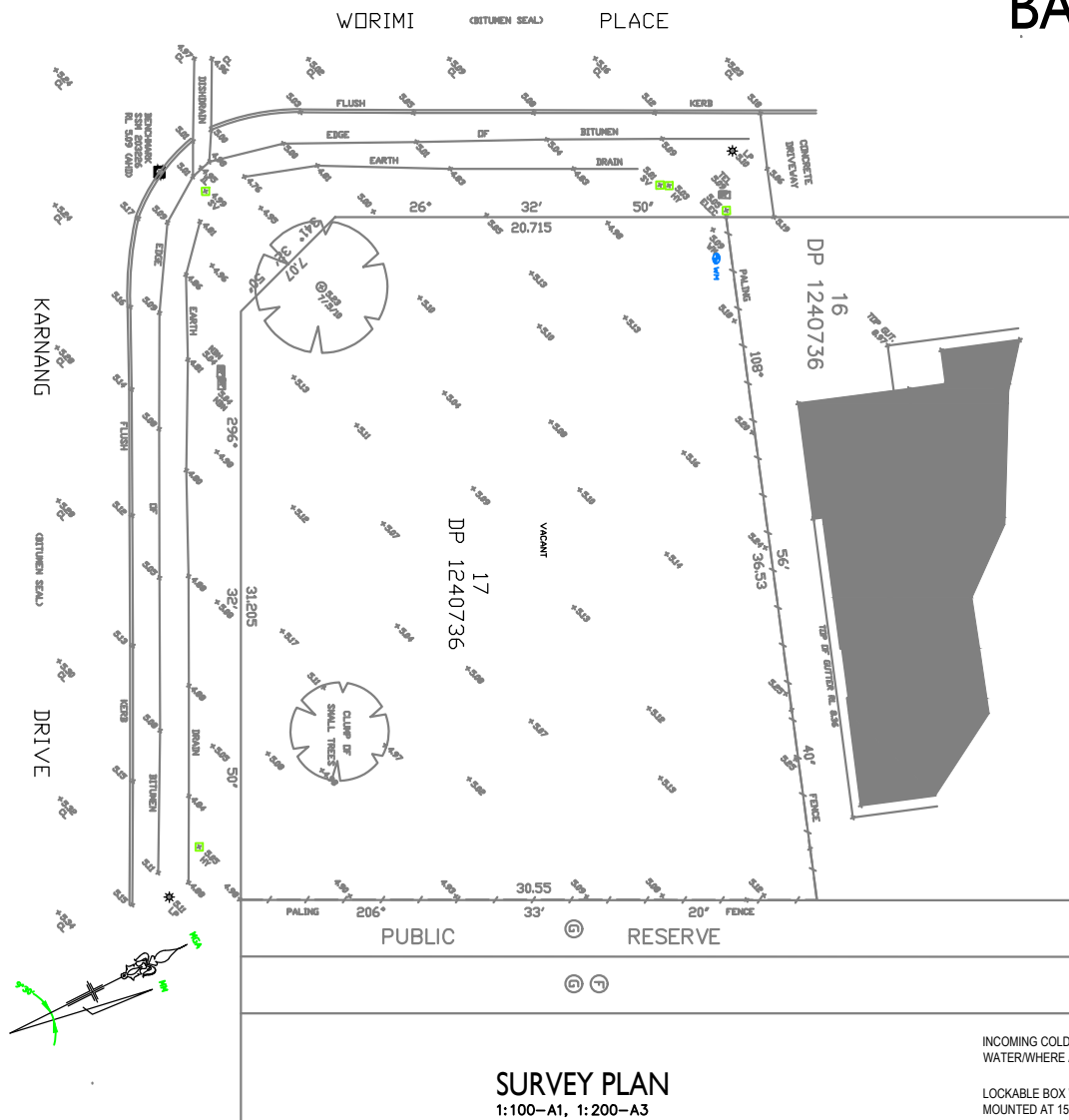


PROPOSED RESIDENTIAL DEVELOPMENT
AT
2 WORIMI PLACE, BOOMERANG BEACH
DEVELOPMENT APPLICATION DRAWINGS
'BAL 12.5'



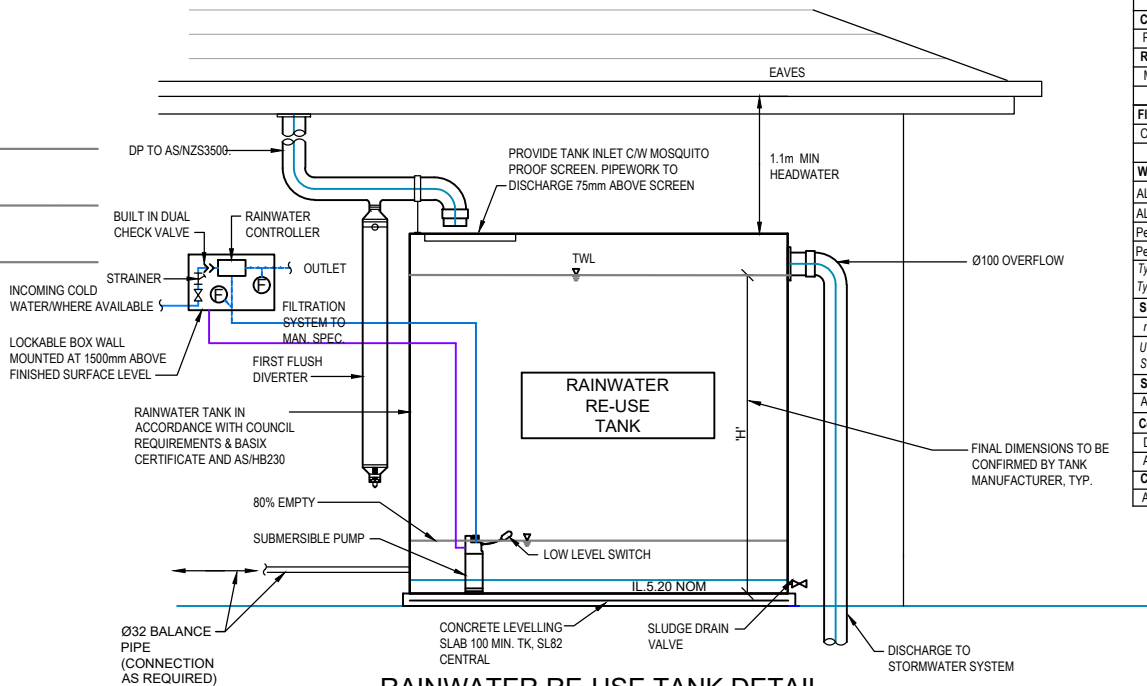
SURVEY PLAN
1:100-A1, 1:200-A3

DRAWING SCHEDULE

SHEET 1	COVER SHEET & SITE INFORMATION
SHEET 2	SITE ANALYSIS PLAN
SHEET 3	FLOOR PLAN
SHEET 4	ROOF PLAN
SHEET 5	ELEVATIONS
SHEET 6	ELEVATIONS
SHEET 7	ELEVATIONS
SHEET 8	TYPICAL SECTION BASIX COMMITMENTS
SHEET 9	CONCRETE SET OUT PLAN



LOCATION MAP
N T S



RAINWATER RE-USE TANK DETAIL

2 Worimi Place Boomerang Beach			
SUMMARY OF BASIX COMMITMENTS FOR EACH UNIT			
This is a summary of the BASIX Commitments as detailed in the BASIX Certificate. Refer to the CURRENT BASIX Certificate for Complete details. For definitions refer to basix.nsw.gov.au			
WATER COMMITMENTS			
Fixtures			
4 Star Shower Heads	Yes (> 6 but <= 7.5 L/min)		
5 Star Kitchen / Basin Taps	Yes	4 Star Toilet	Yes
Alternative Water			
MD Tank Size (L)	5000	Collected from Roof Area (m2)	220
SD Tank Size (L)	5000	Collected from Roof Area (m2)	70
Tank Connected To:			
All Toilets	Yes	Laundry W/M Cold Tap	Yes
One Outdoor Tap	Yes		
THERMAL COMFORT COMMITMENTS - Refer to TPA Specification on plans			
ENERGY COMMITMENTS			
Hot Water	Electric Boosted Solar 21 to 25 STCs		
Cooling System	Living	Refer BASIX Certificate	
	Bedrooms	Refer BASIX Certificate	
Heating System	Living	Refer BASIX Certificate	
	Bedrooms	Refer BASIX Certificate	
Ventilation	1 x Bathroom	Fan ducted to exterior	Manual on/off
	Kitchen	Fan ducted to exterior	Manual on/off
	Laundry	Fan ducted to exterior	Manual on/off
Natural Lighting	Window/Skylight in Kitchen		Yes
	Window/Skylight in Bathrooms/Toilets		As drawn
OTHER COMMITMENTS			
Common clothes line	Yes		
Stove/Oven	Electric cooktop & electric oven		
Alternative Energy	Photovoltaic System: 1 kW to Main Dwelling only		
Pool	Max Vol: 30 KL, no heating, pump with timer, pool cover		

November 2024		BSA Reference: 20823	
Building Sustainability Assessments		Ph: (02) 4962 3439	
enquiries@buildingsustainability.net.au		www.buildingsustainability.net.au	
Important Note			
The following specification was used to achieve the thermal performance values indicated on the Assessor Certificate. If the proposed construction varies to those detailed below then the Assessor and NatHERS certificates will no longer be valid. Assessments assume that the BCA provisions for building sealing & ventilation are complied with at construction.			
Be aware that BASIX does not over-ride the BCA and the NSW variations must be complied with.			
Thermal Performance Specifications (does not apply to garage)			
External Wall Construction		Added Insulation	
Lightweight		R2.5	
Internal Wall Construction		Added Insulation	
Plasterboard on studs		None	
Ceiling Construction		Added Insulation	
Plasterboard		R5.0 to ceilings adjacent to roof space	
Roof Construction		Added Insulation	
Metal		Colour (Solar Absorbance) Light (SA 0.30) Foil + R1.3 blanket	
Floor Construction		Covering	
Concrete		As drawn (if not noted default values used) None	
Windows			
Glass and frame type		U value	SHGC Range
ALM-001-03 A Aluminium Type A Low-e		5.40	0.47 - 0.51
ALM-002-03 A Aluminium Type B Low-e		5.40	0.55 - 0.61
Performance glazing Type A		4.30	0.45 - 0.49
Performance glazing Type B		4.30	0.50 - 0.56
Type A windows are awning windows, bifolds, casements, tilt 'n' turn windows, entry doors, french doors			
Type B windows are double hung windows, sliding windows & doors, fixed windows, stacker doors, louvers			
Skylights		Glass and frame type	U SHGC Area sq m
n/a			Detail
U and SHGC values are according to AFRC. Alternate products may be used if the U value is lower & the SHGC is within the range specified			
Shade elements		(eaves, verandahs, awnings etc)	
All shade elements modelled as drawn			
Ceiling Penetrations		(downlights, exhaust fans, flues etc)	
Downlights are modelled as IC rated with insulation fitted over the fixtures			
All exhaust fans are modelled as sealed			
Ceiling Fans used in the Modelling and to be installed in the following areas:			
As drawn @ 1200mm.			

SITE NOTES:

- GROUND LEVELS, FINISHED FLOOR LEVELS, SITE WORKS AND RETAINING ARE INDICATIVE ONLY AND ARE TO BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION. SITE PLANS ARE TO BE READ IN CONJUNCTION WITH ANY SURVEY/ENGINEERING PLANS AVAILABLE.
- ALL DIMENSIONS ARE TO BE CHECKED WITH EXISTING AND PROPOSED SITE CONDITIONS.
- WRITTEN DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED
- NO VARIATION MAY BE MADE TO THESE DRAWINGS WITHOUT THE PRIOR APPROVAL OF THE BUILDING DESIGNER
- REFER TO ENGINEERS DESIGN, DOCUMENTATION AND CALCULATION FOR DETAILS ON SLAB, FOOTINGS, STRUCTURE, RETAINING WALLS, FINISHED FLOOR LEVELS, SITEWORKS AND STORMWATER DETAILS.
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS SHEETS, CONSULTANTS DRAWINGS, DOCUMENTS, SCHEDULES AND SPECIFICATIONS (AS APPLICABLE).
- THE BUILDER AND SUBCONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS, SEWER PIPES AND THE LIKE ARE LOCATED AT A SUFFICIENT DISTANCE FROM ANY BUILDINGS FOOTING AND/OR SLAB EDGE BEAMS SO AS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPNESS, WEAKENING & UNDERMINING OF ANY BUILDING AND ITS FOOTING SYSTEM.
- LOCATION OF ALL EXISTING ONSITE SERVICES TO BE CONFIRMED ONSITE PRIOR TO CONSTRUCTION



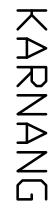


CivilCol Consulting Pty Ltd
ABN: 74636805920 | EMAIL: civilcolconsulting@gmail.com
PH: 0413 857 887 | P.O. BOX 3176, WAMBERAL NSW 2260

PROPOSED RESIDENCE & SECONDARY DWELLING - DA

1. DRAFT ISSUE -22.8.24	CLIENT: STANDISH	LOCATION: 2 WORIMI PLACE BOOMERANG BEACH	DWG No: 2024022	SHEET: 1
2. CLIENT ISSUE -22.8.24			DESIGN: BY OWNER	
3. DA ISSUE -13.1.25			DATE: FEB 2024	
			SCALE: REFER PLAN	9

(BITUMEN SEAL)



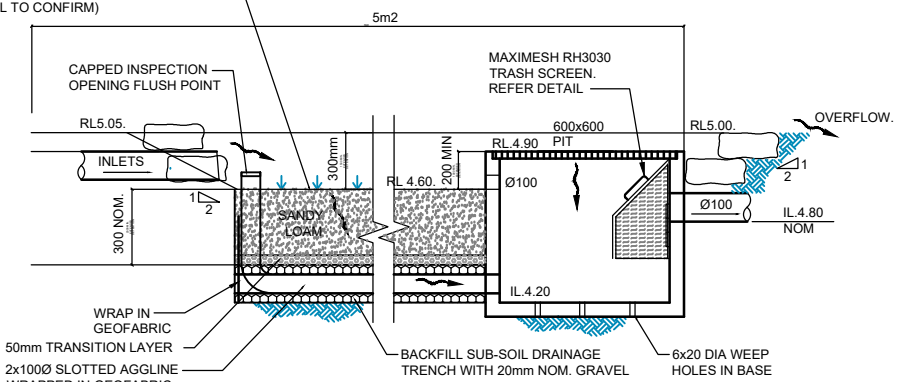
DRIVE

<BITUMEN SEAL>



**DIAL BEFORE
YOU DIG**
www.1100.com.au

ALL BIO-RETENTION SWALES TO BE —
PLANTED WITH CAREX, MELALEUCA,
JUNCUS, GOODENIA AND FICINIA ONLY
(COUNCIL TO CONFIRM)



TYPICAL BIO-RETENTION FILTER DETAIL - RAINGARDEN

LAYER	SOIL TYPE	PARTICLE SIZE	SATURATED HYDRAULIC CONDUCTIVITY (mm/hr)
FILTER MEDIA	SANDY LOAM	0.45	180
TRANSITION LAYER	COARSE SAND	1	3600
DRAINAGE LAYER	GRAVEL	2	36000

SITE SPECIFIC NOTES

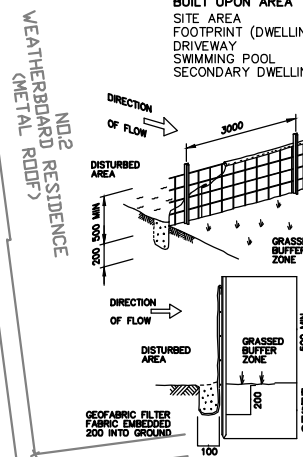
1. NO CLEARING REQUIRED
2. 0.5m NOM CUT/0.5m NOM FILL
3. NO WATERWAYS OR WATERCOURSES ACROSS SITE.
4. 2 X TREE TO BE REMOVED WITHIN THE CONSTRUCTION ZONE
5. NEW GUTTERS AND DOWNPIPS TO BE CONNECTED TO COUNCIL'S STORMWATER DRAINAGE SYSTEM.
REFER PLAN
5. SEWER TO BE CONNECTED TO EXISTING SYSTEM/LO
6. SEDIMENT CONTROL TO BE IN ACCORDANCE WITH COUNCIL'S EROSION & SEDIMENT CONTROL REQUIREMENTS
7. ANY DEMOLISHED MATERIALS TO BE REMOVED IN ACCORDANCE WITH COUNCIL'S WASTE MANAGEMENT PLAN
8. STATEMENT OF ENVIRONMENTAL EFFECTS
THIS DEVELOPMENT WILL HAVE NO SIGNIFICANT EFFECT ON THE ENVIRONMENT
9. ENERGY ASSESSMENT
REFER BASIX REPORT
10. BASIX REQUIREMENTS
REFER PLAN & BASIX REPORT

DA NOTES:
 LOT CATEGORY: 900-1500m2
 SITE AREA 1006 m
 DWELLING 348.9 m (49%) - 40% MAX
 FLOOR AREA 348.9 m - 402.40 MAX
 STREET SETBACK 6.0m AVERAGE SETBACK
 PRIVATE OPEN SPACE P.O.S 24m MIN
 LANDSCAPE AREA > 5%
 PROPOSAL MEETS COMPLYING
 DEVELOPMENT GUIDELINES

Clause	Element	Specification - derived from AS3959-2009
5.1		No gaps greater than 3mm. Any element requiring a screen must have an aperture <2mm and to be corrosion resistant steel or bronze or aluminium.
5.2	Sub Floor Supports - posts, columns, piers, poles	No requirement if enclosed by a compliant wall or mesh screen that complies with 7.4. If unenclosed the sub floor supports, posts columns and piers must be: - Non combustible or Bushfire-resisting timber (Appendix F) or an AS1530.8.1 tested system
5.3	Elevated floors	No requirement for bearers, joists and flooring if enclosed by a wall or mesh screen that complies with 7.4. Element. If unenclosed and less than 400mm above finished ground, bearers, joists and flooring must be: - Non combustible or Bushfire-resisting timber (appendix F) or an AS1530.8.1 tested system. - Flooring can be non combustible, Appendix F timber as above, particle board or plywood if lined with sarking or mineral wool insulation.
5.4	External Walls	External components of walls less than 400mm from the ground or deck are to comply with the following: 90mm min thick masonry or masonry veneer; stone or concrete (insitu, aerated) or, mudbrick. Sarking - non combustible or breather membrane flammability index <5. Must be sarked on the outside of the frame. No joints greater than 3mm permitted. Vents and weepholes to be screened with steel, bronze or aluminium Timber or metal stud clad externally with steel sheet or 6mm FC or bushfire resisting timber (appendix E or F). In all cases sarking is required to the external face of stud.
5.5	External Windows	If a Bushfire shutter is used (metal or bushfire resisting timber - Appendix E or F) then no requirement for window or if a metal screen is used to cover the entire window opening externally then no requirement for the window or Glazing less than 400mm from the ground or a deck is to comply with the following: Window framing to be metal or bushfire resisting timber or metal reinforced PVC-U. Glazing to be 4mm Grade A Safety Glass. Hardware to be metal & seals to have a flammability index <5 or be silicone. Screen openable portion of window internally or externally.
5.5.3, 5.5.4, 5.5.5	External Doors	If Bushfire shutter is used (metal or bushfire resisting timber - Appendix E or F) then no requirement for door or Doors to be non combustible or bushfire resisting timber (Appendix E or F) Solid core timber 35mm thick & protected externally with a metal sheet or screen for the first 400mm above the threshold. Fully framed glazed door where frame is non combustible. Screen first 400mm above threshold. Sliding doors - screening not required. All other door types to be screened. Glazing less than 400mm from the ground or a deck is to be 4mm grade A safety glass. Door framing to be metal or bushfire resisting timber or metal reinforced PVC-U/ Draught excluders must be installed at the base of the door. Refer to the standard for garage doors.
5.6	Roofs	Non combustible including penetrations. Tiled roof to be sarked - battens allowed above sarking. Overhead glazing to be Grade A safety glass AS1288. Verandah, carport and awning roofs connected to main building must meet all criteria of the main roof. Gables to comply with 6.6 Fascia, eaves and bargeboard linings not addressed in BAL-19. Plastic or timber storm moulds can be used. Downpipes no requirement. Gutters to be metal or PVCu. Box gutters to be non combustible. No requirement for leaf guards but if installed must be non combustible.
5.7	Verandahs & Decks	No requirement for framing and supports if enclosed with a compliant screen or a wall that complies with 5.4 Decking to be spaced. Decking, treads and ramps to be non combustible or bushfire resisting timber (Appendix F) Supports and framing to be non combustible or an AS1530.8.1 tested system or a bushfire resisting timber (Appendix F). Balustrades and handrails within 125mm of the building to be non combustible - no requirement if greater than 125mm.
5.8	Water & Gas	Above ground water and gas pipes to be metal.

SITE CALCULATIONS

AREAS	
G/F DWELLING	170.6 m ²
BREEZEWAY	19.50 m ²
ALFRESCO	33.60 m ²
GARAGE	71.00 m ²
DRIVEWAY	51 m ²
SECONDARY DWELLING	60 m ²
SITE AREA	1006 m ²
BUILT UPON AREA	
SITE AREA	1006 m ²
FOOTPRINT (DWELLING)	294.7 m ²
DRIVEWAY	51 m ²
SWIMMING POOL	60.0 m ²
SECONDARY DWELLING	60 m ²
B.U.A.	46 %



SEDIMENT FENCE

N T S

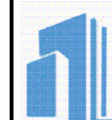
SEDIMENT CONTROL NOTES

1. A siltation control device such as a geofabric lined silt fence shall be erected downslope from any disturbed area to prevent contaminated runoff from leaving the site.
2. All sediment retaining structures shall be inspected and maintained daily.
3. All sediment retaining structures shall be cleaned upon reaching a maximum 50% capacity. Removed sediment shall be spread within disturbed areas on site.
4. Immediately following completion of works all exposed areas shall be stabilized by seeding or mulching. Sediment control shall be installed on any ground not stabilized.

PROVIDE 5000 L MIN RAINWATER
TANK TO BASIX REQ. ~~OVERFLOW~~
TO MAIN DRAINAGE SYSTEM.
220m2 ROOF AREA
TO TANK VIA CHARGED ~~SYSTEM~~
TO COUNCIL SPEC.
CONNECT TO TOILETS, WASHING
MACHINE & ONE OUTDOOR TAP
IN ACCORDANCE
WITH BASIX CERTIFICATE

SITE ANALYSIS PLAN & STORMWATER CONCEPT

1:100-A1, 1:200-A3

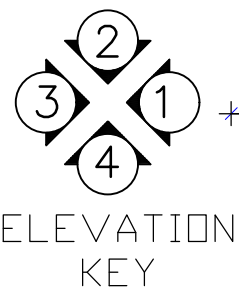
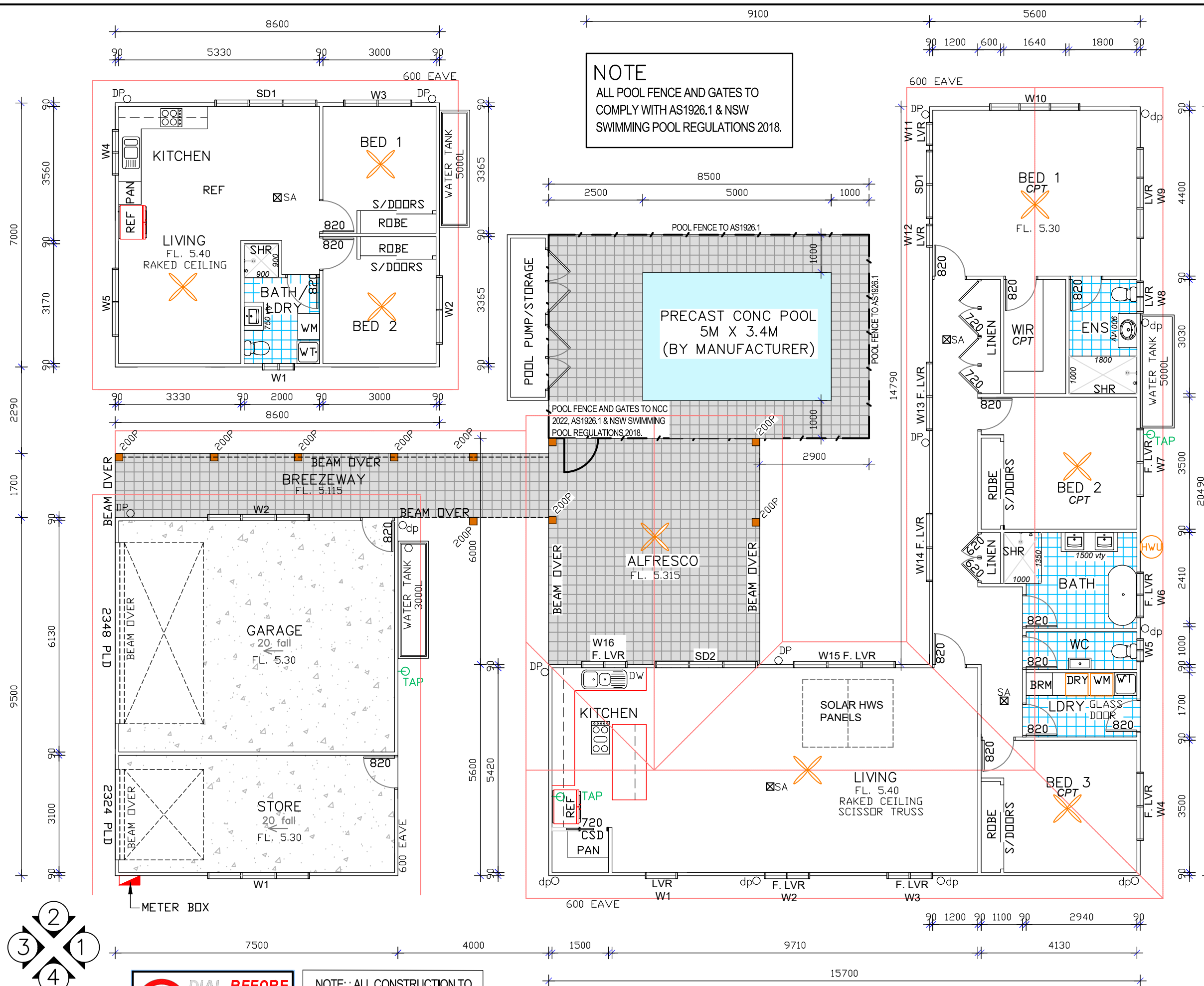


CivilCol Consulting Pty Ltd

ABN: 74636805920 | EMAIL: civilcolconsulting@gmail.com
PH: 0413 857 887 | P.O. BOX 3176, WAMBERAL NSW 2260

PROPOSED RESIDENCE & SECONDARY DWELLING - DA

1. DRAFT ISSUE -5.8.24	CLIENT: STANDISH	LOCATION: 2 WORIMI PLACE BOOMERANG BEACH	DWG No: 2024022	SHEET: 2 9
2. CLIENT ISSUE -22.8.24			DESIGN :BY OWNER	
3. DA ISSUE -13.1.25			DATE : FEB 2024	
			SCALE : RFFFR PLAN	



NOTE: : ALL CONSTRUCTION TO N.C.C. 2022 BCA VOL 2 AND APPLICABLE STANDARDS.

FLOOR PLAN

1:100-A3

LEGEND

☒ SA DENOTES SMOKE ALARMS

NOTE: SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH PART 3.7.5 OF THE N.C.C. AND AS3786.

✕ CEILING FAN TO BEDROOM AND LIVING TO BASIX REQ.

DWELLING NOTES:

- TILE LAYOUT INDICATIVE ONLY.
- PROVIDE LIFT OFF HINGES TO WC DOORS - TO NCC REQUIREMENTS.
- CONFIRM LEVEL ON SITE TO ALL EXTERNAL DOORS IF STEP/S ARE REQUIRED - TO COMPLY WITH NCC.
- 90MM TIMBER STUD WALL THROUGHOUT
- CEILING HEIGHT THROUGHOUT 2740MM
- MECHANICAL VENTILATION TO WC AS REQUIRED.
- ALL INTERNAL DOORS 2100MM HIGH (UNO).
- NEW CONSTRUCTION SHALL COMPLY WITH AUSTRALIAN STANDARD AS3959-2018 FOR CONSTRUCTION OF BUILDINGS IN BUSHFIRE PRONE AREAS 'BAL 29'.
- POOL FENCE AND GATES TO AS1926.1

Areas

LIVING:	170.6m ²
ALFRESCO:	33.60m ²
GARAGE:	71.00m ²
STUDIO:	60.00m ²
BREEZWAY:	19.50m ²
TOTAL AREA:	354.70m ²

CivilCol Consulting Pty Ltd
ABN: 74636805920 | EMAIL: civilcolconsulting@gmail.com
PH: 0413 857 887 | P.O. BOX 3176, WAMBERAL NSW 2260

1. DRAFT ISSUE -5.8.24

2. CLIENT ISSUE -22.8.24

3. DA ISSUE -13.1.25

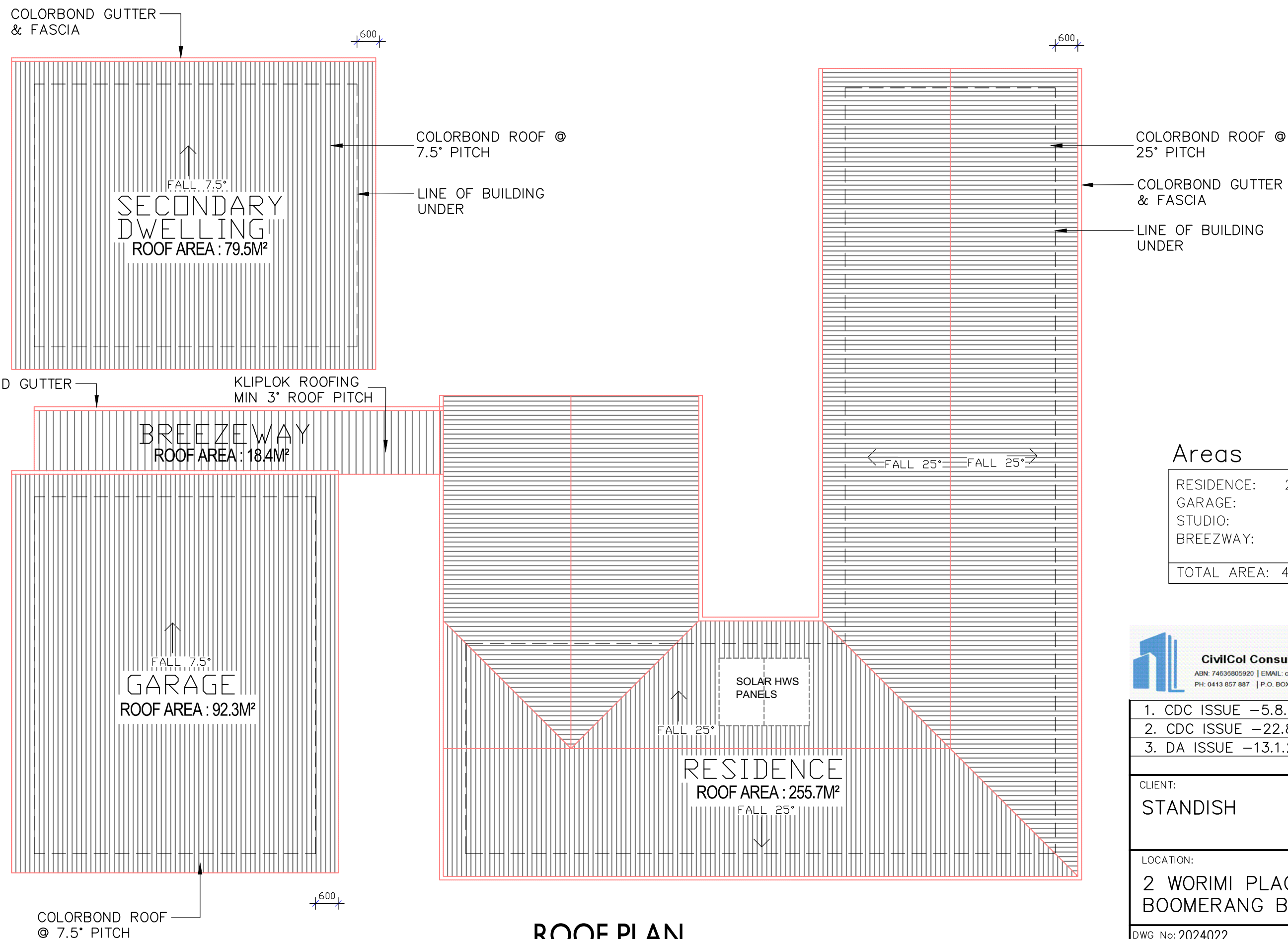
CLIENT:

STANDISH

LOCATION:

2 WORIMI PLACE
BOOMERANG BEACH

DWG No: 2024022	SHEET:
DESIGN :BY OWNER	3
DATE : FEB 2024	9
SCALE : REFER PLAN	



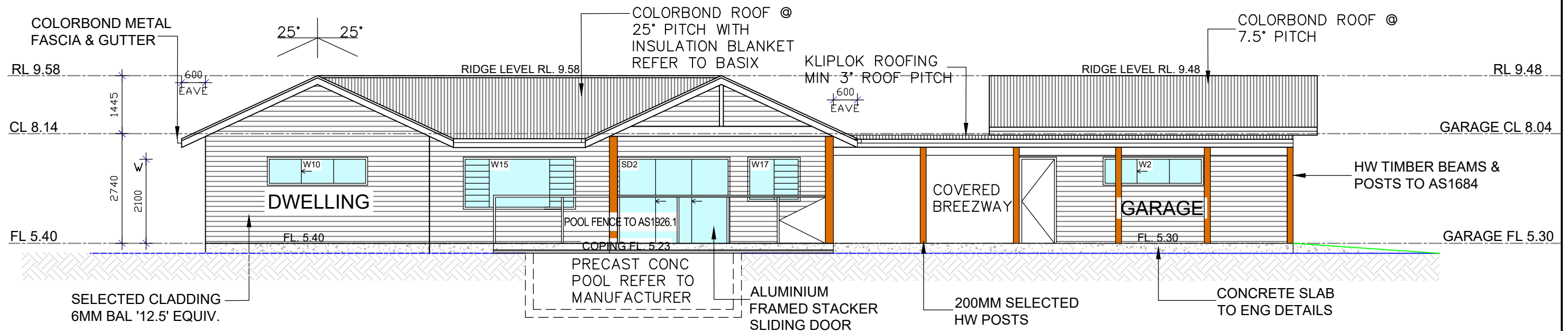
Areas	
RESIDENCE:	255.70m ²
GARAGE:	92.30m ²
STUDIO:	79.50m ²
BREEZWAY:	18.40m ²
TOTAL AREA: 445.90m ²	



CivilCol Consulting Pty Ltd
ABN: 74636805920 | EMAIL: civilcolconsulting@gmail.com
PH: 0413 857 887 | P.O. BOX 3176, WAMBERAL NSW 2260

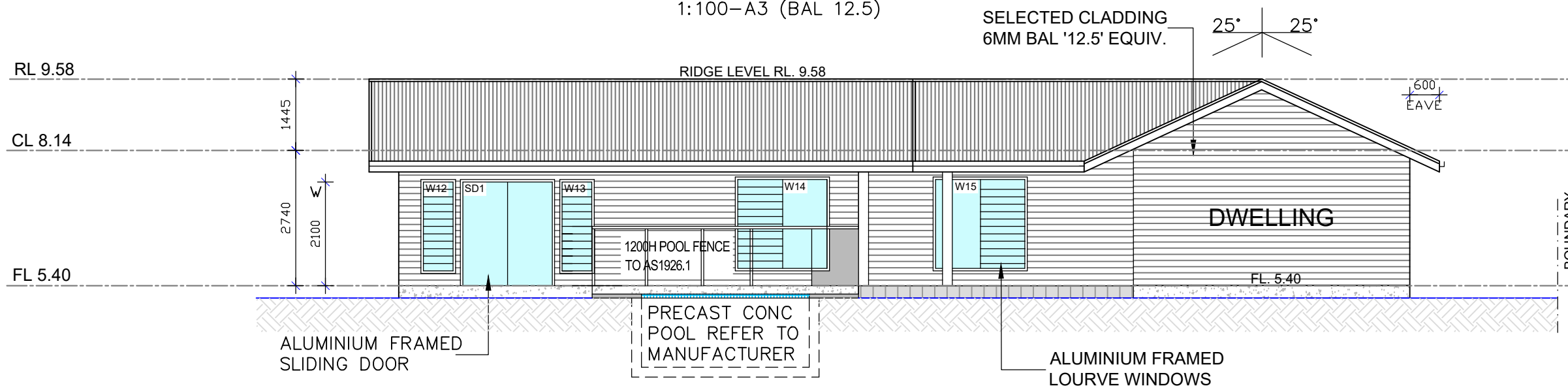
1. CDC ISSUE –5.8.24	
2. CDC ISSUE –22.8.24	
3. DA ISSUE –13.1.25	
CLIENT: STANDISH	
LOCATION: 2 WORIMI PLACE BOOMERANG BEACH	
DWG No: 2024022	SHEET:
DESIGN :BY OWNER	4 9
DATE : FEB 2024	
SCALE : REFER PLAN	

ROOF PLAN
1:100–A3



2 NORTH ELEVATION

1:100-A3 (BAL 12.5)

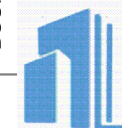


3 WEST ELEVATION

1:100-A3 (BAL 12.5)

NOTE: ALL CONSTRUCTION TO N.C.C. 2022 BCA VOL 2 AND APPLICABLE STANDARDS.

NEW CONSTRUCTION SHALL COMPLY WITH AUSTRALIAN STANDARD AS 3959-2018 FOR CONSTRUCTION OF BUILDINGS IN BUSHFIRE PRONE AREAS 'BAL 12.5'. CONSTRUCTION TO BE IN ACCORDANCE WITH AS 3959 -2018 AND PLANNING FOR BUSHFIRE PROTECTION 2019. REFER TO BUSHFIRE REPORT.



CivilCol Consulting Pty Ltd

ABN: 74638805920 | EMAIL: civilcolconsulting@gmail.com
PH: 0413 857 887 | P.O. BOX 3175, WAMBERAL NSW 2260

1. DRAFT ISSUE -5.8.24
2. CLIENT ISSUE -22.8.24
3. DA ISSUE -13.1.25

CLIENT:

STANDISH

LOCATION:

2 WORIMI PLACE
BOOMERANG BEACH

DWG No: 2024022

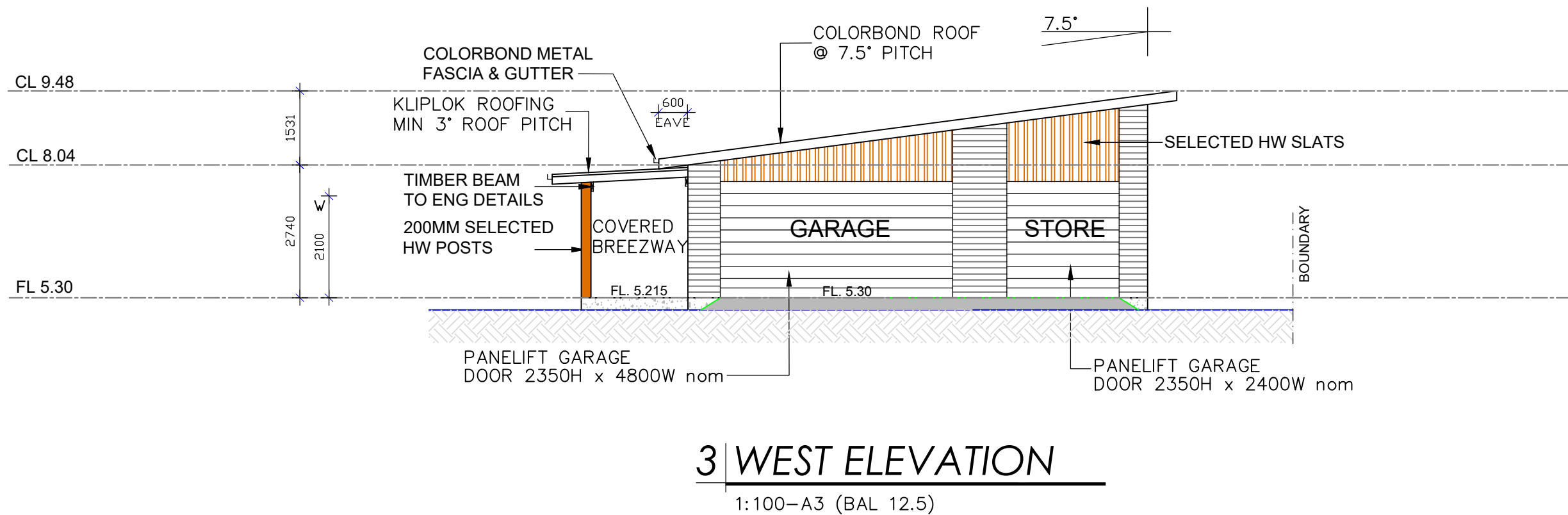
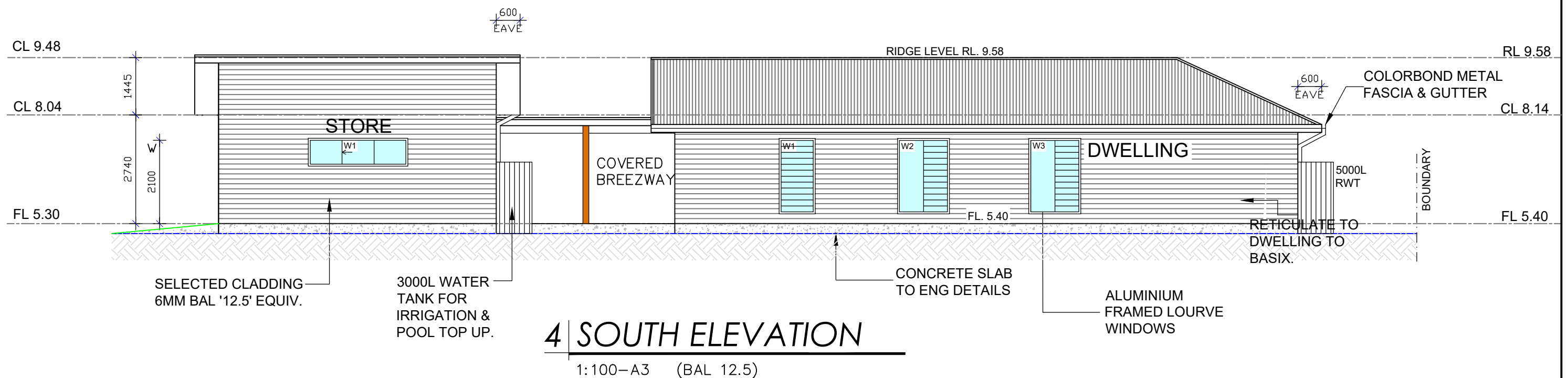
DESIGN :BY OWNER

DATE : FEB 2024

SCALE : REFER PLAN

SHEET:

5
9



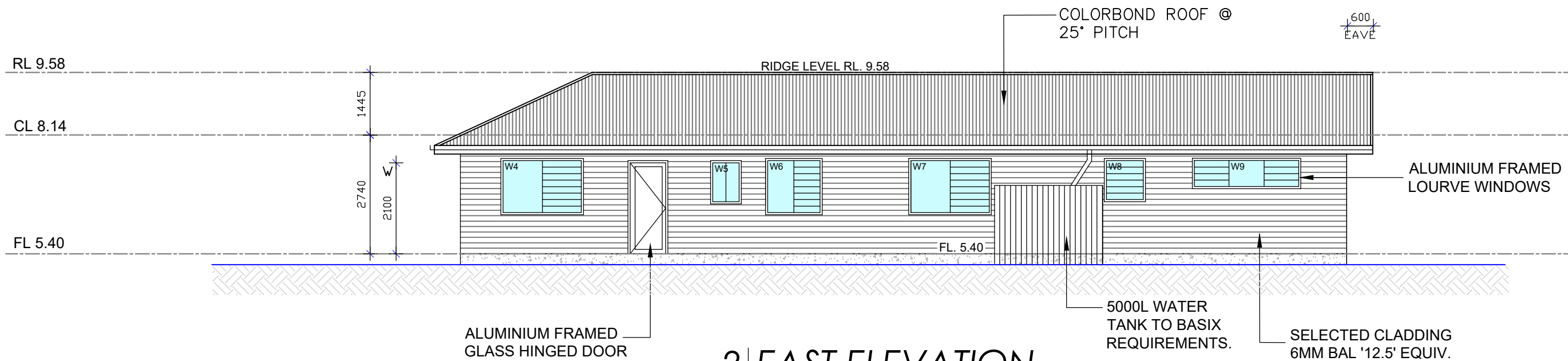


CivilCol Consulting Pty Ltd
ABN: 74636805920 | EMAIL: civilcolconsulting@gmail.com
PH: 0413 857 887 | P.O. BOX 3176, WAMBERAL NSW 2260

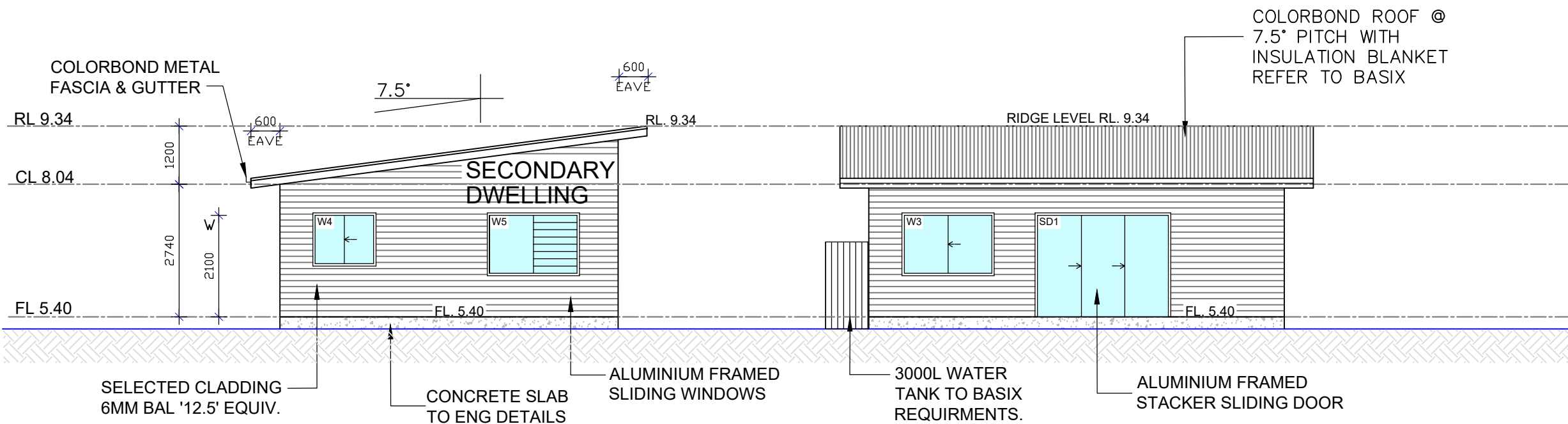
1. DRAFT ISSUE –5.8.24	
2. CLIENT ISSUE –22.8.24	
3. DA ISSUE –13.1.25	
CLIENT: STANDISH	
LOCATION: 2 WORIMI PLACE BOOMERANG BEACH	
DWG No: 2024022	SHEET:
DESIGN :BY OWNER	6
DATE : FEB 2024	9
SCALE : REFER PLAN	

NOTE: : ALL CONSTRUCTION TO
N.C.C. 2022 BCA VOL 2 AND
APPLICABLE STANDARDS.

NEW CONSTRUCTION SHALL COMPLY WITH AUSTRALIAN
STANDARD AS 3959–2018 FOR CONSTRUCTION OF BUILDINGS
IN BUSHFIRE PRONE AREAS 'BAL 12.5'. CONSTRUCTION TO BE
IN ACCORDANCE WITH AS 3959 –2018 AND PLANNING FOR
BUSHFIRE PROTECTION 2019. REFER TO BUSHFIRE REPORT



2 | **EAST ELEVATION**
1:100-A3 (BAL 12.5)



3 | **WEST ELEVATION**
1:100-A3 (BAL 12.5)

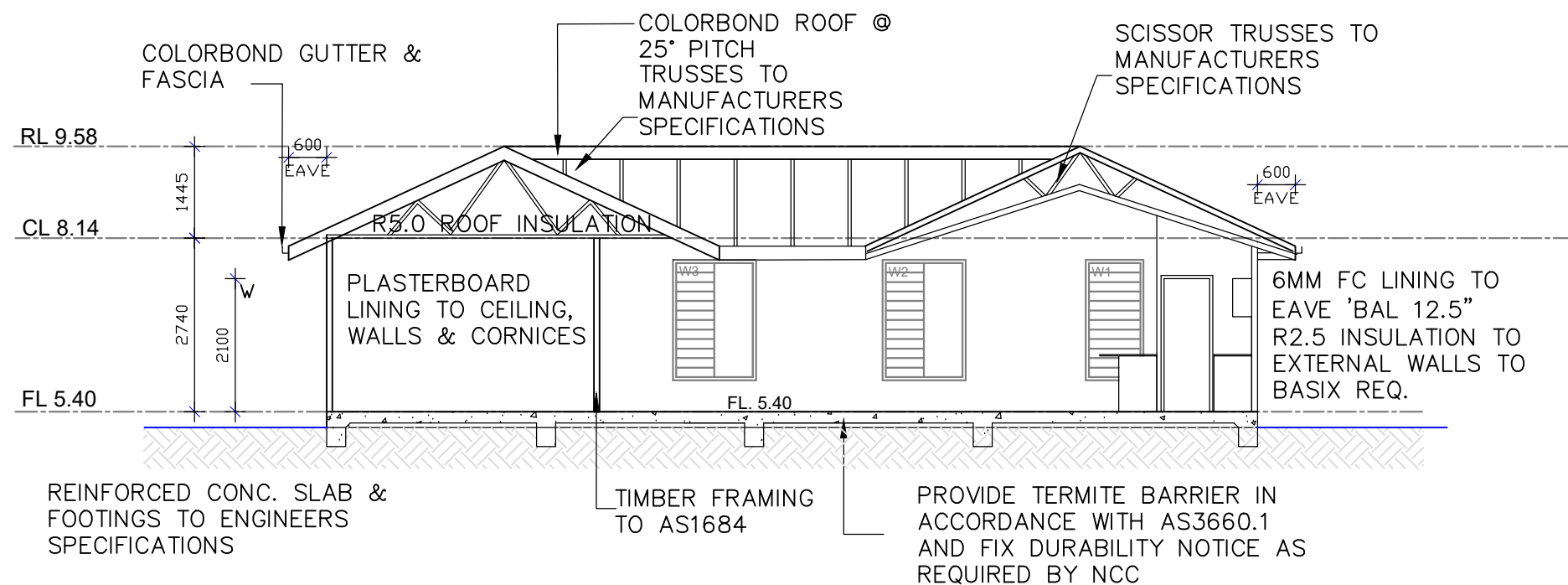
2 | **NORTH ELEVATION**
1:100-A3 (BAL 12.5)

NOTE: : ALL CONSTRUCTION TO
N.C.C. 2022 BCA VOL 2 AND
APPLICABLE STANDARDS.

NEW CONSTRUCTION SHALL COMPLY WITH AUSTRALIAN
STANDARD AS 3959-2018 FOR CONSTRUCTION OF BUILDINGS
IN BUSHFIRE PRONE AREAS 'BAL 12.5'. CONSTRUCTION TO BE
IN ACCORDANCE WITH AS 3959 -2018 AND PLANNING FOR
BUSHFIRE PROTECTION 2019.REFER TO BUSHFIRE REPORT

 **CivilCol Consulting Pty Ltd**
ABN: 74636905920 | EMAIL: civilcolconsulting@gmail.com
PH: 0413 857 887 | P.O. BOX 3176, WAMBERAL NSW 2260

1. DRAFT ISSUE -5.8.24	
2. CLIENT ISSUE -22.8.24	
3. DA ISSUE -13.1.25	
CLIENT: STANDISH	
LOCATION: 2 WORIMI PLACE BOOMERANG BEACH	
DWG No: 2024022	SHEET: 7 9
DESIGN :BY OWNER	
DATE : FEB 2024	
SCALE : REFER PLAN	



X-X TYPICAL SECTION

1:100-A3 (BAL 12.5)

NOTE:
FINAL INSULATION
REQUIREMENTS ARE SUBJECT
TO BASIX REPORT. BUILDER
TO CONFIRM DETAILS.

WINDOW SCHEDULE HOUSE 'BAL 12.5'

WINDOW NO	(h) SIZE (w)	TYPE	NO	AREA
W1	1800 x 850	Std Alu. Lourve	1	1.53m2
W2	1800 x 1210	Std Alu. Lourve	1	2.18m2
W3	1800 x 1210	Std Alu. Lourve	1	2.18m2
W4	1200 x 1810	Std Alu. Lourve	1	2.17m2
W5	0900 x 0610	Std Alu. Sliding	1	0.54m2
W6	1200 x 1210	Std Alu. Lourve	1	1.45m2
W7	1200 x 1810	Std Alu. Lourve	1	2.17m2
W8	0900 x 0850	Std Alu. Lourve	1	0.77m2
W9	0600 x 2410	Std Alu. Lourve	1	1.46m2
W10	0600 x 2410	Std Alu. Sliding	1	1.44m2
W11	1800 x 0600	Std Alu. Lourve	1	1.09m2
W12	1800 x 0600	Std Alu. Lourve	1	1.09m2
W13	1800 x 1810	Std Alu. Lourve	1	3.25m2
W14	1800 x 1810	Std Alu. Lourve	1	3.25m2
W15	1200 x 2710	Std Aluminium	1	3.25m2
W16	1000 x 1210	Std Aluminium	1	1.21m2
D1	2100 x 820	Std Aluminium Glass Hinged	1	1.75m2
SD1	2135 x 1810	Std Aluminium	1	3.80m2
SD2	2135 x 2710	Std Aluminium Stacker	1	5.78m2

NEW CONSTRUCTION SHALL COMPLY WITH AUSTRALIAN STANDARD AS 3959-2018 FOR CONSTRUCTION OF BUILDINGS IN BUSHFIRE PRONE AREAS 'BAL 12.5'. CONSTRUCTION TO BE IN ACCORDANCE WITH AS 3959 -2018 AND PLANNING FOR BUSHFIRE PROTECTION 2019.REFER TO BUSHFIRE REPORT

WINDOW SCHEDULE STUDIO 'BAL 12.5'

WINDOW NO	(h) SIZE (w)	TYPE	NO	AREA
W1	900 x 850	Std Alu. Awning	1	0.76m2
W2	1200 x 1810	Std Alu. Awning	1	2.17m2
W3	1200 x 1810	Std Alu. Sliding	1	2.17m2
W4	1000 x 1210	Std Alu. Sliding	1	1.21m2
W5	1200 x 1810	Std Alu. Lourve	1	2.17m2
SD1	2100 x 2710	Std Alu. Sliding stacker	1	5.69m2

WINDOW SCHEDULE GARAGE 'BAL 12.5'

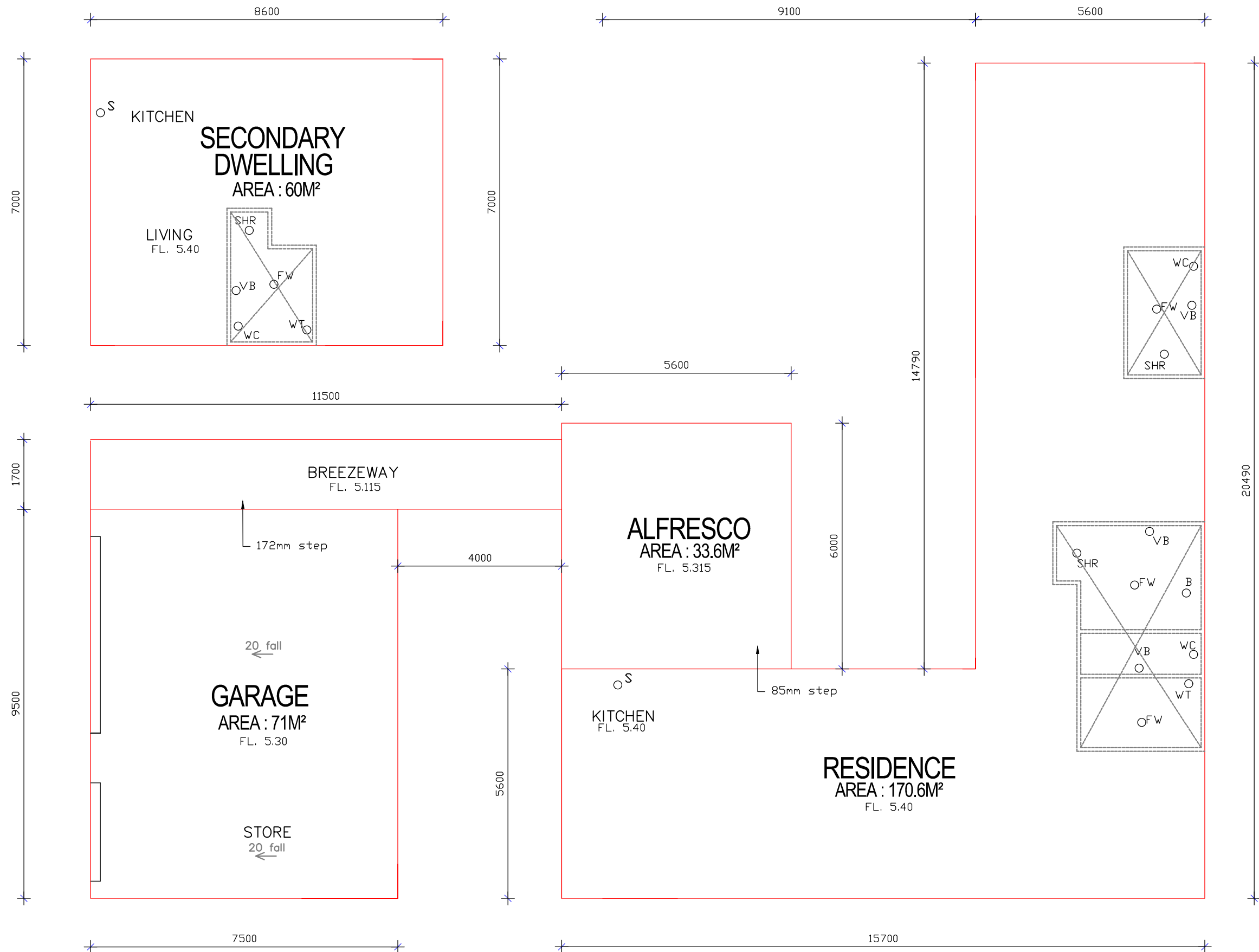
WINDOW NO	(h) SIZE (w)	TYPE	NO	AREA
W1	0600 x 2710	Std Alu. Sliding	1	1.63m2
W2	0600 x 2710	Std Alu. Sliding	1	1.63m2

GENERAL NOTES

1. All Construction to NCC 2022 BCA Vol 2 and current Australian Standards.
2. New construction shall comply with Australian Standard AS3959 - 2018 for construction of buildings in bushfire prone areas 'BAL 12.5'
3. Builder to check all measurements prior to commencement of construction.
Written dimensions are to take precedence over scaled dimensions.
4. All timber sizes and spans to comply with AS1684.
5. All reinforced concrete and structural steel construction to be in accordance with engineering specification and details where required and AS2780.
6. Glass installation must comply with AS1288 and be in accordance with the specified wind classification.
7. All wet areas to comply with AS3740.
8. Smoke alarms to be installed in accordance with parts 3.7.2.3 and 3.7.2.4 of the NCC 2022 and AS3786.
9. Termite control to be installed in accordance with parts 3.1.3.3 and 3.1.3.4 of the NCC 2022.
10. Masonry Construction to AS3700 and AS4773.
11. All Plumbing, Gutters and Downpipes to AS/NZS 3500.
12. Registered Surveyor to set out residence and confirm boundary alignments and levels.

CivilCol Consulting Pty Ltd
ABN: 74636805920 | EMAIL: civilcolconsulting@gmail.com
PH: 0413 857 887 | P.O. BOX 3176, WAMBERAL NSW 2260

1. DRAFT ISSUE –5.8.24	
2. CLIENT ISSUE –22.8.24	
3. DA ISSUE –13.1.25	
CLIENT: STANDISH	
LOCATION: 2 WORIMI PLACE BOOMERANG BEACH	
DWG No:2024022	SHEET:
DESIGN :BY OWNER	8 / 9
DATE : FEB 2024	
SCALE : REFER PLAN	



NOTE

- 50MM SETDOWN TO WET AREAS
- SEWER TO CONNECTED TO MAIN

Areas

LIVING:	170.6m ²
ALFRESCO:	33.60m ²
GARAGE:	71.00m ²
STUDIO:	60.00m ²
BREEZWAY:	19.50m ²
TOTAL AREA:	354.70m ²



CivilCol Consulting Pty Ltd

ABN: 7463805920 | EMAIL: civilcolconsulting@gmail.com
PH: 0413 857 887 | P.O. BOX 3176, WAMBERAL NSW 2260

1. DRAFT ISSUE –5.8.24
2. CLIENT ISSUE –22.8.24
3. DA ISSUE –13.1.25

CLIENT:
STANDISH

LOCATION:
**2 WORIMI PLACE
BOOMERANG BEACH**

DWG No: 2024022
DESIGN :BY OWNER
DATE : FEB 2024
SCALE : REFER PLAN

SHEET:

9
9

NOTE: : ALL CONSTRUCTION TO
N.C.C. 2022 BCA VOL 2 AND
APPLICABLE STANDARDS.

CONCRETE SET OUT PLAN

1:100–A3